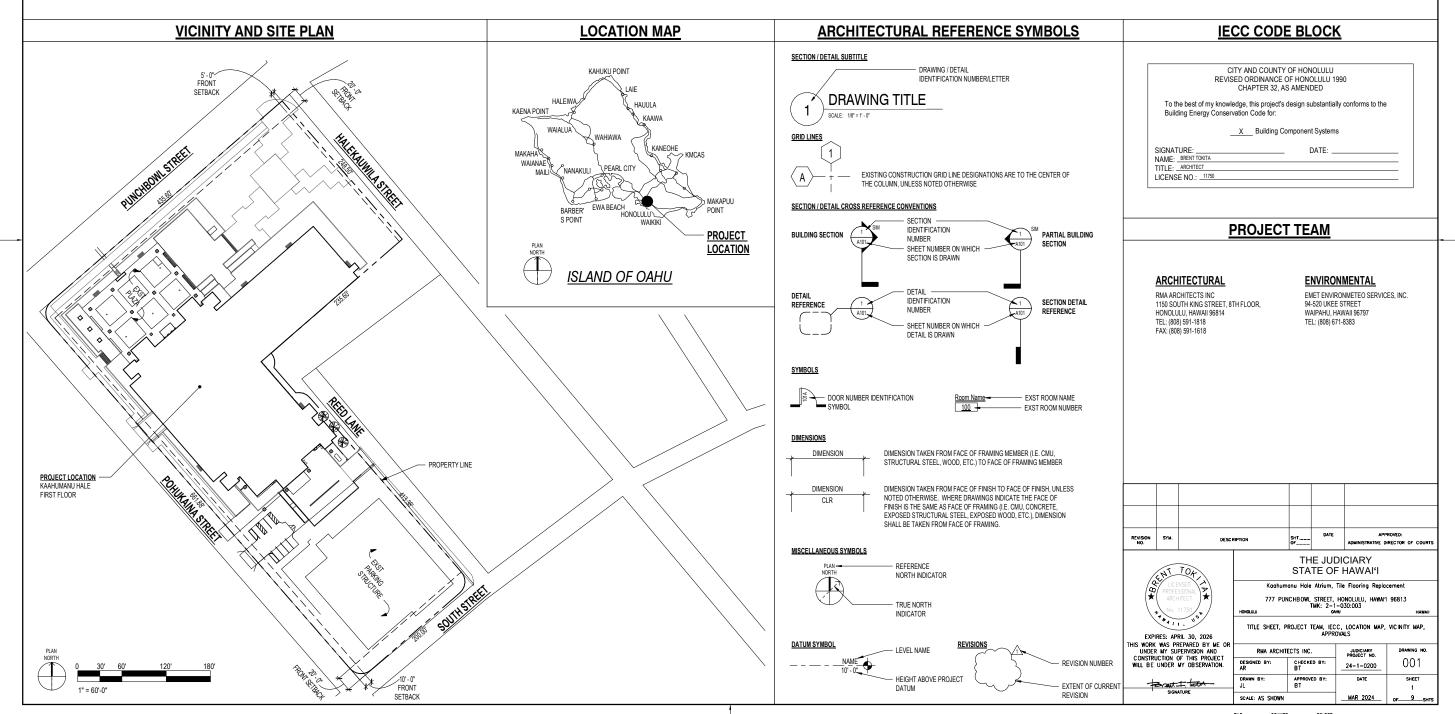
KA'AHUMANU HALE ATRIUM TILE FLOORING REPLACEMENT

(HONOLULU FIRST CIRCUIT COURT)

777 PUNCHBOWL STREET, HONOLULU, HAWAI'I 96813 TAX MAP KEY: 2-1-030:003

JUD JOB NO. 24-1-0200

FOR: STATE OF HAWAI'I CIRCUIT COURT BY THE: THE JUDICIARY STATE OF HAWAI'I



GENERAL NOTES

- 1. GENERAL CONDITIONS: GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF THIS PROPOSAL ARE THE STATE OF HAWAII JUDICIARY GENERAL CONDITIONS FOR CONSTRUCTION PROJECTS, AS REFERENCED IN THE STATE OF HAWAII JUDICIARY-MANAGED PROJECTS.
- CONSTRUCTION DOCUMENTS REASONABLY DESCRIBE THE INTENT OF THE QUALITY AND SCOPE OF THE CONSTRUCTION FOR THE PROJECT. WHERE DETAILS AND NOTES ARE NOT SHOWN. THE CONTRACTOR SHALL PROCEED FOLLOWING THE ACCEPTED QUALITY STANDARDS AND PROCEDURES OF THE CONSTRUCTION INDUSTRY IN HAWAII AS WELL AS THE GENERAL INTENT OF THE CONSTRUCTION DOCUMENTS. CLARIFICATIONS MAY BE SUBMITTED TO THE CONTRACTIN OFFICER FOR REVIEW BEFORE PROCEEDING.
- 3. WHERE NOT MORE SPECIFICALLY DESCRIBED, WORKMANSHIP SHALL CONFORM TO THE BEST STANDARDS AND BEST PRACTICES OF THE INDUSTRY, TRADE, OR TRADES INVOLVED, AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION AND INSTALLATION REGULARLY FURNISHED OR REQUIRED FOR COMPLETION (INCLUDING ANY FINISH REQUIRED FOR SUCCESSEUL OPERATION AS INTENDED). IT SHALL BE THE GENERAL CONTRACTOR'S AND EACH SUBCONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE QUALITY OF WORKMANSHIP DESCRIBED HEREIN IS ACHIEVED. WORK SHALL BE EXECUTED BY MECHANICS SKILLED IN THEIR RESPECTIVE LINES OF
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND QUALITY OF WORK, AND FOR THE COORDINATING AND SUPERVISION OF ALL CONSTRUCTION WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AMONG THE VARIOUS TRADES AS NECESSARY TO AVOID CONFLICTS AND TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE CONTRACT DOCUMENTS
- 6. THE CONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS AND DETAILS IN THE DRAWINGS FOR DISCREPANCY. CONTRACTOR SHALL ALSO VERIFY ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE CONTRACTING OFFICER. IN WRITING, OF ANY DISCREPANCIES AND/OR CONDITION WHICH WILL PREVENT HIM FROM FULFILLING THE TERMS OF CONTRACT. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR ALL CORRECTIONS AND
- REPAIRS DUE TO THEIR FAILURE TO DO SO.

 7. QUANTITIES SHOWN AND/OR INDICATED IN THE CONTRACT DOCUMENTS SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR ALL QUANTITIES.

 8. WHERE EXISTING CONDITIONS REQUIRE DETAILS AND/ OR SPECIFICATIONS DIFFERENT FROM THE
- CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONTRACTING OFFICER, IN WRITING, SO THAT ALTERNATIVE METHODS AND MATERIALS MAY BE CONSIDERED.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DEMOLITION REMOVAL, TEMPORARY REMOVAL AND REPLACEMENT. CUTTING, PATCHING, ETC., AS REQUIRED TO FACILITATE THE SUBJECT CONSTRUCTION WORK COMPLETE. VERIFY AND COMPARE ALL DRAWINGS (ALL DISCIPLINES) FOR THE COMPLETE SCOPE OF DEMOLITION, REMOVAL, TEMPORARY REMOVAL AND REPLACEMENT. CUTTING, PATCHING, ETC. WORK.
- 10. THE CONTRACTOR SHALL PROVIDE NECESSARY SCREENINGS AND BARRICADES TO ISOLATE WORK AREA, AT ANY GIVEN TIME, FROM PEDESTRIANS. WORK AREA SHALL BE WELL SIGNED; ALTERNATIVE PATHWAS MUST BE PROVIDED WHEN NECESSARY
- 11. WORK INCIDENTAL TO THE CONTRACT AND NECESSARY TO COMPLETE THE PROJECT, ALTHOUGH NOT SPECIFICALLY REFERRED TO ON THE CONTRACT DOCUMENTS, SHALL BE FURNISHED AND PERFORMED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT ALL ITEMS, IN AND ABOVE GROUND WITHIN THE PROJECT SITE FROM DAMAGE. DAMAGE TO BUILDINGS, SIDEWALKS, LANDSCAPING, LAWN, HOSEBIBBS, ETC. BY THE CONTRACTOR, HIS EMPLOYEES, SUBCONTRACTORS, AND EQUIPMENT, SHALL BE REPLACED AND/OR REPAIRED AT NO EXTRA COST TO THE JUDICIARY.
- 13. FINISHED SURFACES THAT ARE DAMAGED, SCRATCHED, OR MARRED DUE TO ONGOING CONSTRUCTION PERFORMED BY THE CONTRACTOR, SHALL BE RESTORED AT NO EXPENSE TO THE JUDICIARY AND TO THE PPM'S SATISFACTION. CORRECT DAMAGE TO WORK OR OTHER TRADES BY CLEANING, REPAIRING, REPLACING, AND REFINISHING AS APPROVED BY A TRADE PROFESSIONAL AND LEAVE IN AN UNDAMAGED CONDITION.

 14. THE CONTRACTOR SHALL PATCH ALL SURFACES EXPOSED FROM CUTTING, AND/OR REMOVAL
- WORK, PATCHING SHALL MATCH THE MATERIAL AND FINISH OF THE ADJACENT SURFACES.

 15. THE CONTRACTOR SHALL KEEP THE PROJECT SITE AND ADJACENT COMMON AREAS NEAT, TIDY AND
- CLEAN AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, TEMPORARY COVER, DUST CONTROL PARTITIONS, ETC. TO SCREEN PROTECT AREAS OF OPERATION AND EQUIPMENT FROM NOISE, DUST AND DAMAGE
- 16. THE CONTRACTOR SHALL UTILIZE METHODOLOGIES TO MINIMIZE AIRBORNE PARTICLES OR FUGITIVE
- 17. ALL WASTE MATERIALS SHALL BE PROMPTLY REMOVED AND DISPOSED OF OUTSIDE THE LIMITS OF THE JUDICIARY'S PROPERTY DAILY. AT THE END OF CONSTRUCTION, ALL ITEMS AND EQUIPMENT TEMPORARILY REMOVED OR RELOCATED DURING THE CONSTRUCTION PROCESS SHALL RE REINSTALLED IN THE SAME LOCATION PRIOR TO THE REMOVAL, OR IN A NEW LOCATION AS NOTED IN THE DRAWINGS OR IN A LOCATION APPROVED BY THE CONTRACTING OFFICER
- 18. TRASH AND DEBRIS SHALL BE MAINTAINED IN COVERED CONTAINERS TO MINIMIZE THE POTENTIAL FOR RODENTS AT THE CONSTRUCTION SITE.
- 19. MAINTAIN NOISE POLLUTION TO 85 DECIBELS (DBS) OR BELOW PER OSHA 1910.95. IF THE CONTRACTOR BELIEVES NOISE POLLUTION WILL BECOME A PROBLEM. THE CONTRACTOR SHALL COORDINATE WITH THE CONTRACTING OFFICER FOR RESOLUTION.
- 20 ALL MATERIALS ITEMS NOTED IN THE DRAWING ARE "NEW "LINI ESS NOTED OTHERWISE ALL MATERIAL/EQUIPMENT SHALL BE RATED FOR USE IN THE ENVIRONMENT IN WHICH INSTALLED.
- 21 DEFINITIONS:
- A. "PROVIDE" SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR INTENDED USE, NEW
- ITEM(S), AS DETAILED OR NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS.

 B. "REPLACE" SHALL MEAN REMOVE EXISTING ITEM(S) AND PROVIDE NEW ITEM(S) AS DETAILED OR NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- C. "SALVAGE" SHALL MEAN REMOVE EXISTING ITEM(S) WITH CARE TO PREVENT DAMAGE FOR FUTURE REUSE AMD/OR INSTALLATION. IF SALVAGE ITEMS ARE DAMAGED AFTER REMOVAL CONTRACTOR IS TO COMPENSATE TO MATCH NEW DESGIN.
- D. "MATCH" SHALL MEAN TO BLEND WITH ADJACENT CONSTRUCTION AND MANIFEST NO APPARENT DIFFERENCE IN MATERIAL TYPE. SPECIES. CUT. FORM. DETAIL. COLOR. GRAIN. TEXTURE. OR FINISH; AS APPROVED BY CONTRACTING OFFICER

22. DIMENSIONS:

- A. (E) MEANS EXISTING DIMENSION. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING DIMENSION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY.
- ALL DIMENSIONS ARE TO FRAMING MEMBERS AT NEW CONDITIONS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE, DO NOT MEASURE DRAWINGS
- D. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.

 E. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. FABRICATION OF COMPONENTS AND MATERIALS SHALL BE BASED ON FIELD VERIFIED DIMENSIONS.
- 23. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES OF THE BUILDING CODE
- 24. NO MATERIALS SHALL BE PLACED OR STORED IN THE EXISTING EXITS/EXISTING STAIRS (FIRE STAIR WELLS). ABSOLUTELY NO CUTTING, SANDING, GLUING OR OTHER WORK SHALL TAKE PLACE WITHIN SLICH STAIRWAYS
- 25. NOT IN CONTRACT (NIC) ITEMS: ITEMS AS NOTED ON DRAWINGS AND SPECIFICATIONS AS NIC ARE NOT INCLUDED AS PART OF THE CONTRACTOR'S SCOPE OF WORK. HOWEVER, THE CONTRACTOR SHALL COORDINATE WORK AND SCHEDULING WITH THE JUDICIARY'S SEPARATE CONTRACTORS, AND PROVIDE FREE ACCESS FOR NIC WORK BY THE JUDICIARY AND/OR JUDICIARY'S SEPARATE
- 26. THE CONTRACTOR IS REQUIRED NOT ONLY TO INSTALL JUDICIARY FURNISHED EQUIPMENT, BUT ALSO TO INSTALL AND/OR PROVIDE ALL NECESSARY HARDWARE OR EQUIPMENT (I.E. CONDUIT, CABLE, ETC.) REQUIRED TO MAKE THE EQUIPMENT FUNCTIONAL PER THE MANUFACTURER'S SPECIFICATIONS. CONSIDER CONDUIT/DELIVERY OPTIONS THAT MINIMIZE ENCROACHMENT OF SPACE AROUND FOUIPMENT
- 27. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE
- JUDICIARY PRIOR TO FINAL CONNECTION.

 28. NO SMOKING IS ALLOWED IN THE BUILDING AT ANY TIME.
- ODORS: CONTRACTOR SHALL NOT USE CHEMICALS AND OTHER MATERIALS WHICH EMIT HAZARDOUS/NOXIOUS ODORS, SUCH AS "GOOF-OFF," JUST PRIOR TO AND DURING NORMAL BUSINESS HOURS. IF SUCH CHEMICALS MUST BE USED, THEY SHALL BE USED DURING AFTER BUILDING CLOSED HOURS, AND ALL OPEN CONTAINERS, RAGS, ETC. CONTAINING THESE CHEMICALS SHALL BE PROMPTLY REMOVED, WITH ENOUGH TIME ALLOTTED FOR SMELL TO DISSIPATE BEFORE NORMAL BUILDING OPERATION HOURS BEGIN. SUBMIT TO THE CONTRACTING OFFICER FOR REVIEWS, MSDS PRIOR TO USE
- 30. <u>DUST</u>: CONTROL DUST IN WORKING AREA AND INVOLVED PORTION OF THE SITE, INCLUDING
- TRACKING ONTO ACCESS PATHS.

 31. CONSTRUCCTION IS ALLOWED TO OCCUR MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 5:00 PM TO 5:00 AM, ON WEEKEDNS AND HOLIDAYS, EXCEPT AS APPROVED BY THE CONTRACTING OFFICER OR CONTRACTING OFFICER'S REPRESENTATIVE CONSTRUCTION SHALL ONLY BE PERFORMED ACCOMPANIED BY SHERIFF, HIRED BY CONTRACTOR
- 32. THE BUILDING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. THE SUBJECT WORK IS NOT ANTICIPATED TO DETRIMENTALLY AFFECT THE ON-GOING OPERATIONS IN OTHER PORTIONS OF THE FACILITY. CONTRACTOR SHALL CAREFULLY CONSIDER THIS FACTOR AND PLAN HIS WORK ACCORDINGLY. PROVIDE FOR SAFETY MEASURES TO PROTECT ALL PROPERTY AND PERSONS. THE CONTRATOR SHALL PRODUCE AND PRESENT A PLAN FOR CONSTRUCTION TO BE PERFORMED IN PHASES AS DESCRIBED IN THE SCOPE OF WORK (SHT. G-002).
- 33. PRESENCE OF HAZARDOUS MATERIALS (ASBESTOS CONTAINING MATERIALS AND LEAD CONTAINING PAINT) ARE ANTICIPATED TO BE WITHIN THE BUILDING, IN MATERIALS ADJACENT TO THE SUBJECT WORK IN THIS CONSTRUCTION CONTRACT. A REPORT ON THE PRESENCE OF ASBESTOS CONTAINING MATERIALS IS INCLUDED IN THE SPECIFICATIONS FOR REVIEW AND USE. EXAMINE THE REPORT TO BECOME AWARE OF LOCATIONS WHERE HAZARDOUS MATERIALS ARE PRESENT. DUE TO THE AGE OF THE FACILITY, IT SHALL BE ASSUMED THAT ALL PAINT CONTAINS LEAD.
- CONTRACTOR SHALL COORDINATE WITH THE CONTRACTING OFFICER, ANY WORK THAT WILL INTERFERE WITH OR DISRUPT BUILDING SERVICES. PROVIDE TEN WORKING (10) DAYS. ADVANCE NOTICED OF ANY DISRUPTIONS, PRIOR TO ANY WORK, THE CONTRACTOR SHALL DEVELOP SAFETY PLANS AND METHODS TO PROTECT THE BUILDING, AND PEOPLE INSIDE THE BUILDING, AND AROUND THE BUILDING GROUNDS FROM OBJECTS/DEBRIS, ETC.

 35. WHERE WARRANTIES ARE SPECIFIED, CONTRACTOR'S BID SHALL INCLUDE FULL COMPLIANCE OF
- ALL CONDITIONS REQUIRED BY THE WARRANTIES. WHERE THE MANUFACTURER'S WARRANTI
 REQUIREMENTS AND/OR RECOMMENDATIONS VARY FROM THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR IS EXPECTED TO COMPLY WITH STRICTER OF THE TWO PROVIDING REQUIREMENTS DO NOT VOID WARRANTY. CONTRACTOR SHALL INFORM THE CONTRACTING OFFICER IN WRITING, PROVIDE SHOP DRAWINGS, AND AS BUILT DRAWINGS WHERE PROPOSED CONSTRUCTION WILL DEVIATE FROM THE CONSTRUCTION DOCUMENTS.
- 36. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES (WALL, FLOOR, SLABS, ETC.) SHALL BE FIRESTOPPED LISING AN APPROVED LIL SYSTEM TO MAINTAIN FIRE RESISTANT RATING FIRESTOP PATCH AND PAINT PENETRATIONS TO MATCH EXISTING FIRE RATING AND ADJACENT FINISHES

FIRE CODE / FIRE SAFETY NOTES

1. FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH THE FIRE CODE (NEPA 1 2012) WITH APPLICABLE COLINTY AMENDMENTS.

- SED ORDINANCE OF HAWAII (ROH)
 HAPTER 18 FEES AND PERMITS FOR BUILDING, ELECTRICAL, PLUMBING AND SIDEWALK CODES;
- SECTION 18-5.2 RETENTION OF PLANS
- 3. ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC. 18-5.2 R.O. 1978 (1983 ED.);
- 4. ENSURE FIRE ALARM SYSTEM AUDIBILITY AND VISIBILITY IS ADEQUATE THROUGH ALL OCCUPIABLE AREAS AND SPACES. THIS WILL BE THOROUGHLY CHECKED AT TIME OF FIRE ALARM ACCEPTANCE

- 13.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTION, CHANGE OF OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM WITH NFPA 101 AND THE 2012 INTERNATIONAL BUILDING
- 2. 13.7.1.4.9.5 UNLESS OTHERWISE PROVIDED IN 13.7.1.4.9.5.1 THROUGH 13.7.1.4.9.5.6, NOTIFICATION SIGNALS FOR OCCUPANT TO EVACUATE SHALL BE AUDIBLE AND VISIBLE SIGNALS IN ACCORDANCE WITH NEPA 72 AND ICC/ANSI A117.1. AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, OR OTHER MEANS OF NOTIFICATION ACCEPTABLE TO THE AHJ SHALL BE PROVIDED
- 3. 16.1.1 STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NEPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER
- 4. NFPA 72; 4.4.5* PROTECTION OF FIRE ALARM CONTROL UNIT(S). IN AREAS THAT ARE NOT CONTINUOUSLY OCCUPIED, AUTOMATIC SMOKE DETECTION SHALL BE PROVIDED AT THE LOCATION OF EACH FIRE ALARM CONTROL UNIT(S) TO PROVIDE NOTIFICATION OF FIRE AT THAT LOCATION.

- FIRE SAFETY DURING DEMOLITION

 1. 13.1.4.2 FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE LOCATED WITHIN 20 FEET OF A FIRE APPARATUS ACCESS ROAD, NOT LESS THAN 18 INCHES AND NOT MORE THAN 4 FEET AROVE GRADE OR AS APPROVED BY THE AHJ. APPROPRIATE IDENTIFICATION SIGNS SHALL BE PROVIDED IN A LOCATION(S) APPROVED BY THE AH.I.
- 2. 13.7.1.1 WHERE BUILDING FIRE ALARM SYSTEMS OR AUTOMATIC FIRE DETECTORS ARE REQUIRED BY OTHER SECTIONS OF THIS CODE, THEY SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NFPA 70, NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, AND SECTION 13.7.
- 3. 13.7.1.4.10.5 UNLESS OTHERWISE PROVIDED IN 13.7.1.4.10.5.1 THROUGH 13.7.1.4.10.5.8, NOTIFICATION SIGNALS FOR OCCUPANTS TO EVACUATE SHALL BE AUDIBLE AND VISIBLE SIGNALS IN ACCORDANCE WITH NEPA 72 AND ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, OR OTHER MEANS OF NOTIFICATION ACCEPTABLE TO THE AHJ SHALL BE
- 4. 16.5.1 IF A BUILDING INTENDED TO BE DEMOLISHED CONTAINS A SPRINKLER SYSTEM, SUCH SYSTEM SHALL NOT BE RENDERED INOPERATIVE WITHOUT APPROVAL OF THE AHJ. DETECTION, ALARM, AND COMMUNICATIONS SYSTEMS

FIRE SAFETY DURING INSTALLATION

- 10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE-EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.4.3.5.2(3), 13.7.1.4.4, 16.5.4, 20.2.3.6. 34.6.3.3, 41.2.2.5, 41.2.2.6, 41.2.4, 41.3.4, 41.4.1, 34.5.4.3, AND 25.1.8 AT NO COST TO THE AHJ. NFPA 1 2012, AS AMENDED
- 2. 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.
- 3. 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT
- 4 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM THE ALLISHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.
- 5. 16.4.4.4 THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS SHUT DOWN AND WHEN THE SYSTEM IS RETURNED TO SERVICE

SCOPE OF WORK

REPLACEMENT OF EXISTING ATRIUM QUARRY TILE FLOORING

- 1. BUILDING FUNCTIONS AND OPERATIONS WILL REMAIN ACTIVE DURING THIS WORK.
- THE CONTRATOR SHALL PRODUCE AND PRESENT A PLAN FOR THE CONSTRUCTION TO BE PERFORMED IN MULTIPLE PHASES, AND IN A SEQUENCE TO MINIMIZE IMPACTS TO USERS AND EMPLOYEES. SEE ALSO GENERAL NOTES #31 & 32.
- 3. FOR FULL SCOPE OF WORK REFER TO THE DRAWINGS AND SPECIFICATIONS

INDEX TO DRAWINGS GENERAL 1 001 TITLE SHEET, PROJECT TEAM, IECC, LOCATION MAP, VICINITY MAP, APPROVALS REVISION NO. G-001 GENERAL NOTES, SCOPE OF WORK, INDEX TO DRAWINGS 3 G-002 ABBREVIATIONS & CODE INFORMATION THE JUDICIARY ARCHITECTURAL QUIT TOA STATE OF HAWAII 4 A-101 FIRST FLOOR DEMOLITION PLAN Kaahumanu Hale Atrium, Tile Flooring Replacement A-102 FIRST FLOOR PLAN 777 PUNCHBOWL STREET, HONOLULU, HAWAI'I 96813 TMK: 2-1-030:003 A-401 ENLARGED PLAN -TILE EXPANSION JOINT LOCATION A-402 ENLARGED PLAN -TILE EXPANSION JOINT LOCATION A-501 FINISH SCHEDULE, DETAILS GENERAL NOTES, SCOPE OF WORK, INDEX TO DRAWINGS 9 A-502 DETAILS EXPIRES: APRIL 30, 2026 IS WORK WAS PREPARED BY ME UNDER MY SUPERVISION AND RMA ARCHITECTS INC. JUDICIARY PROJECT NO. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION G-001 24-1-0200 SCALE: AS SHOWN MAR 2024

ABBREVIATIONS

CODE INFORMATION

Α		<u>l </u>	
ABV	ABOVE	IECC	INTERNATIONAL ENERGY
ACOUS	ACOUSTICAL	INT	CONSERVATION CODE
ADA	AMERICANS WITH DISABILITIES ACT	INT	INTERIOR
ADJ AFF	ADJUSTABLE ABOVE FINISH FLOOR		
AHJ	AUTHORITY HAVING JURISDICTION	<u>L</u>	
ALUM	ALUMINUM	LBS	POUNDS
&	AND	LUO	LAND USE ORDINANCE
APPROX	APPROXIMATE		
ARCH	ARCHITECTURAL or ARCHITECT	M	
ASME	THE AMERICAN SOCIETY OF	MAT	MATERIAL
	MECHANICAL ENGINEERS	MAX	MAXIMUM
@	AT	MECH	MECHANICAL
_		MTL	METAL
<u>B</u>			MANUFACTURER
BD	BOARD	MIN MISC	MINIMUM MISCELLANEOUS
BLDG	BUILDING	WIGO	WIGGELLANEOUS
BLK BLKG	BLOCK BLOCKING	N	
DLNG	BLOCKING	N	
^		N/A	NOT APPLICABLE
<u>C</u>		NEC	NATIONAL ELECTRICAL CODE
Ģ	CENTERLINE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CLG	CEILING CLEAR CLEARANCE	NIC	NOT IN CONTRACT
CLR COL	CLEAR, CLEARANCE COLUMN	NO. OR #	NUMBER
CONC	CONCRETE	NTS	NOT TO SCALE
CONT	CONTINUOUS		
		0	
D		OC, O.C.	ON CENTER
DEMO	DEMOLISH, DEMOLITION		
DENIO DEPT.	DEPARTMENT	Р	
DET 1.	DETAIL	-	D.III.T
DIA	DIAMETER	P PLYWD	PAINT
DIM	DIMENSION	PLTWD	PLYWOOD
DN	DOWN	_	
DR	DOOR	<u>R</u>	
DS	DOWNSPOUT	REFER	REFERENCE
DWGS	DRAWINGS	REINF	REINFORCEMENT
_		REQ, REQ'D RM	ROOM
<u>E</u>		KIVI	ROOM
E.G.	"FOR EXAMPLE"	•	
ELEC	ELECTRICAL	<u>S</u>	
ELEV ELEC	ELEVATION, ELEVATOR ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SF CUT CUTC	SQUARE FEET SHEET(S)
EXST, (E)	EXISTING	SHT, SHTS SIM	SIMILAR
EXT	EXTERIOR	SI	SLOPE
		SPEC	SPECIFIED or SPECIFICATIONS
F		SS	STAINLESS STEEL
FFL	FINISH FLOOR LEVEL	STL	STEEL
FIN	FINISH FLOOR LEVEL	STD	STANDARD
FL, FLR	FLOOR	STRUCT	STRUCTURAL
FOC	FACE OF COLUMN	_	
FOF	FACE OF FINISH	<u>T</u>	
FOW	FACE OF WALL	TEL	TELECOMMUNICATION
FT	FEET	THK	THICK
_		TYP	TYPICAL
G			
GYP	GYPSUM	<u>W</u>	
		W	WIDE
Н		W/	WITH
H	HIGH	W/O	WITHOUT
n HORIZ	HORIZONTAL	WD	WOOD
HR	HOUR	WDW/WIN	WINDOW
HT, H	HEIGHT, HIGH		
HVAC	HEATING, VENTILATION AND		
	AIR CONDITIONING		

GENERAL INFORMATION: A. PROPERTY OWNER

THE JUDICIARY STATE OF HAWAI'I

B. TAX MAP KEY: 2-1-030:003

C. PROJECT LOCATION KAAHUMANU HALE CIRCUIT COURT

(O'AHU FIRST CIRCUIT COURT) 777 PUNCHBOWL STREET HONOLULU, HAWAII 96813

D. TOTAL LOT AREA 185,742 SF (4.264 ACRES)

E. FLOOD ZONE: X - BEYOND 500 YEAR FLOOD PLAIN

LAND USE ORDINANCE INFORMATION:

F. REFERENCE:

LAND USE ORDINANCE (LUO) CITY AND COUNTY OF HONOLULU DEPARTMENT OF PLANNING AND PERMITTING

G. ZONING: STATE JURISDICTION: KAKAAKO COMMUNITY DEVELOPMENT DISTRICT (HCDA)

H. LOT RESTRICTIONS: NONE I. SMA/SHORELINE: NOT IN SMA J. STATE LAND USE: URBAN DISTRICT

HAWAII COMMUNITY DEVELOPMENT AUTHORITY (HCDA) INFORMATION:

K. REFERENCE: HAWAII COMMUNITY DEVELOPMENT AUTHORITY:

KAKAAKO COMMUNITY DEVELOPMENT DISTRICT MAUKA AREA RULES, EFF NOV. 11, 2011 (REPEAL OF CH. 15-22 AND ADOPTION OF CH. 15-217)

L. NEIGHBORHOOD ZONING: CIVIL CENTER ZONE

M. MAXIMUM HEIGHT LIMIT: 65' MAX (NO CHANGES TO EXISTING BUILDING HEIGHT)

N. BUILDING PLACEMENT:

20'-0" ALONG SOUTH STREET AND PUNCHBOWL STREET 20'-0" ALONG POHUKAINA STREET (FRONT BUILD TO LINE):

10'-0" ALONG HALEKAUWILA STREET 5'-0" ALONG REED LANE (NO CHANGES TO EXISTING BUILDING FOOTPRINT)

(SIDE & REAR SETBACK): 10'-0" STRUCTURE CONTAINING WINDOWS OR OPENINGS FACING PROPERTY LINE. 0'-0" STRUCTURE CONTAINING NO WINDOWS OR OPENINGS FACING PROPERTY LINE.

(NO CHANGES TO EXISTING BUILDING FOOTPRINT)

A. APPLICABLE BUILDING CODE:
 1. IBC 2018 EDITION AS ADOPTED BY THE STATE OF HAWAII WITH AMENDMENTS.

IEBC 2018 EDITION AS ADOPTED BY THE STATE OF HAWAII WITH AMENDMENTS
 INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION

4. NFPA 1-2018, FIRE CODE

B. TYPE OF CONSTRUCTION: EXST TYPE 1A - FIRE SPRINKLERED

C. FLOOR AREA: ALLOWABLE:

(HCDA FAR = 1.5) 185,742 SF = 278,613 SF

EXISTING FLOOR AREA: 263,860 SF ADDED FLOOR AREA: 472 SF - EXTERIOR EQUIPMENT PLATFORM TOTAL FLOOR AREA: 264,332 SF

D. OCCUPANCY GROUPS: A-3: ASSEMBLY

B: BUSINESS GROUP (CIVIC ADMINISTRATION) I-3, CONDITION 4: INSTITUTIONAL





EXPIRES: APRIL 30, 2026
THIS WORK WAS PREPARED BY ME OF
UNDER MY SUPERVISION AND
CONSTRUCTION OF THIS PROJECT
WILL BE UNDER MY OBSERVATION.

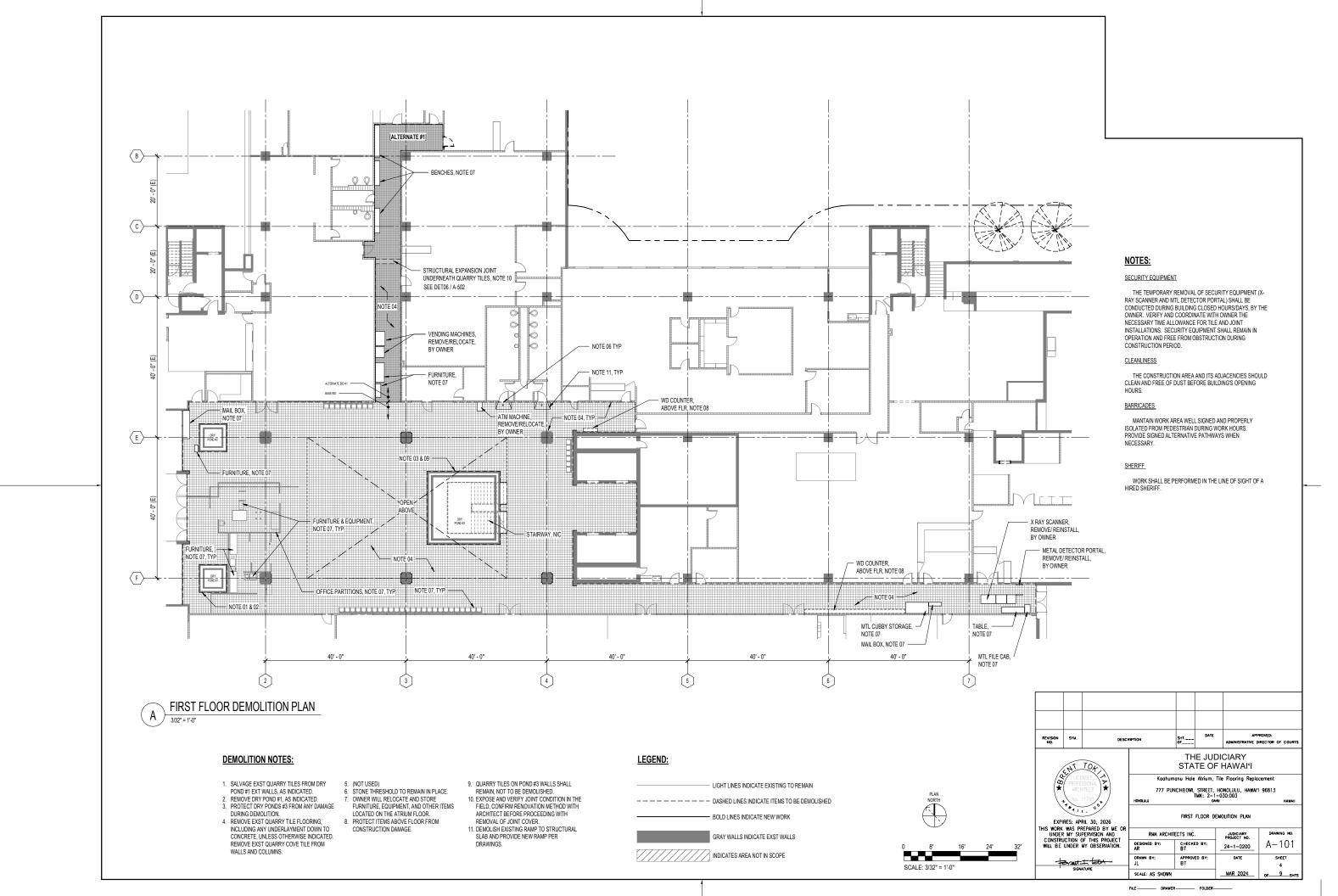
THE JUDICIARY STATE OF HAWAI'I Kaahumanu Hale Atrium, Tile Flooring Replacement

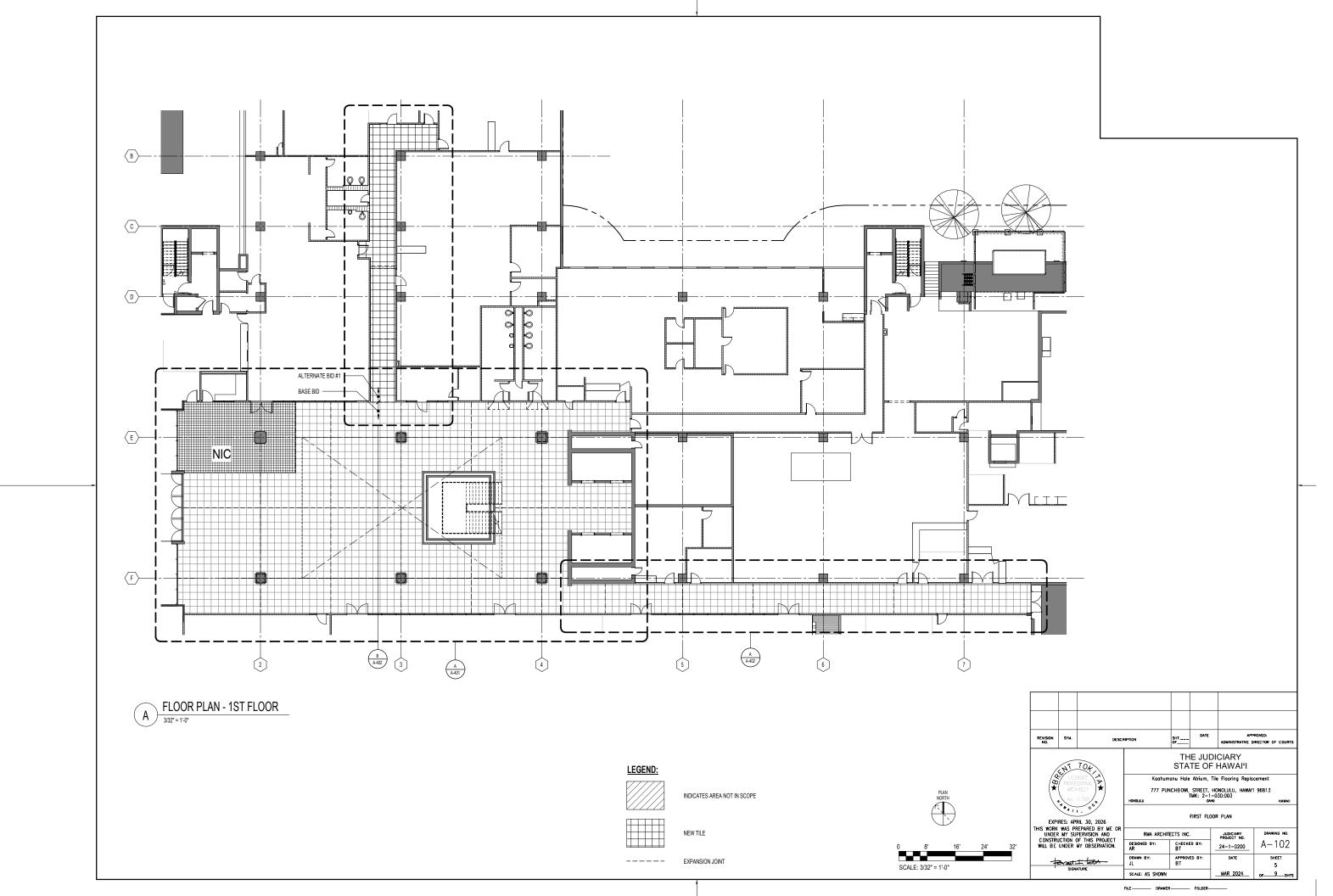
777 PUNCHBOWL STREET, HONOLULU, HAWAI'I 96813 TMK: 2-1-030:003 ABBREVIATIONS & CODE INFORMATION

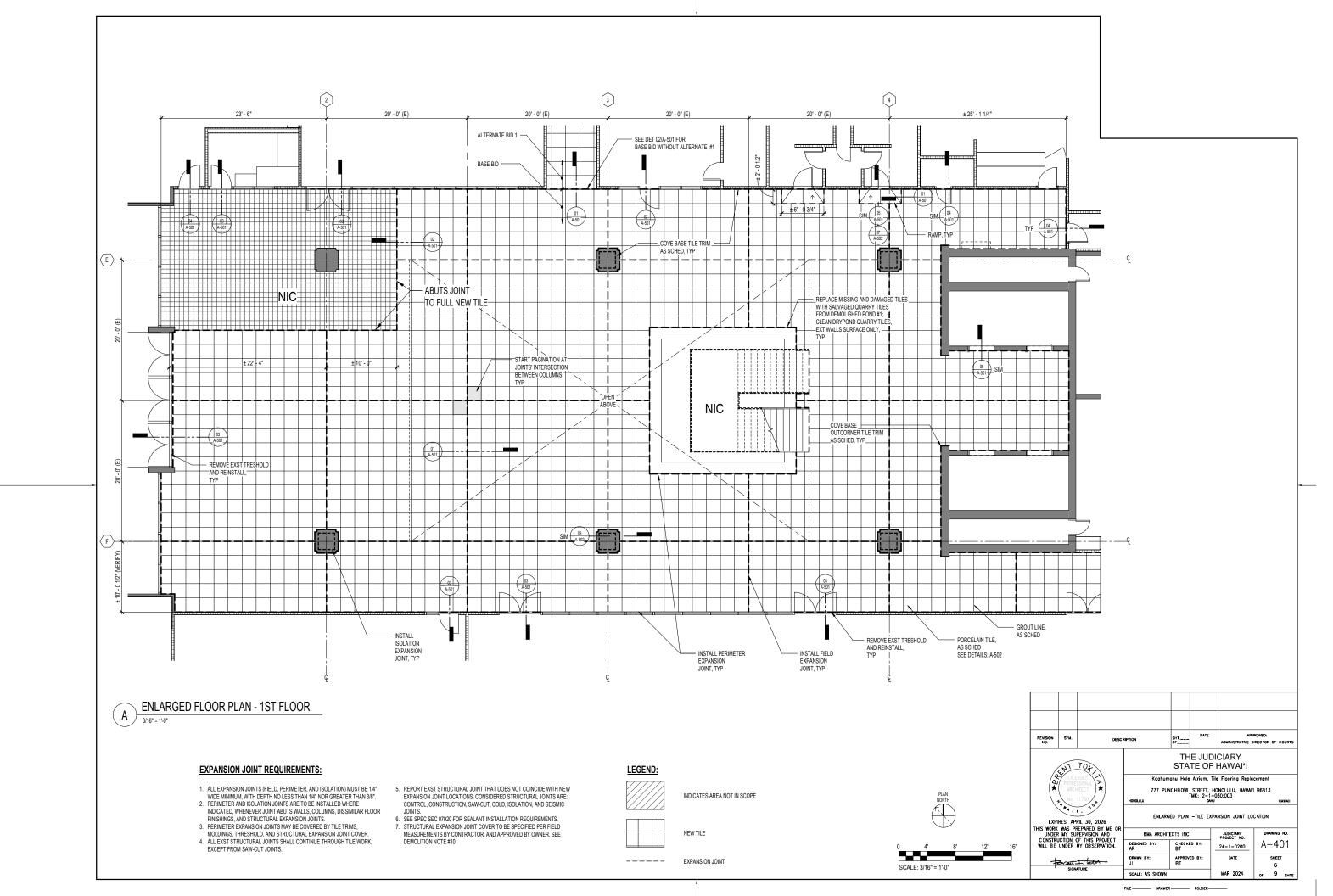
RMA ARCHITECTS INC. JUDICIARY PROJECT NO. G-002 CHECKED BY: 24-1-0200 3

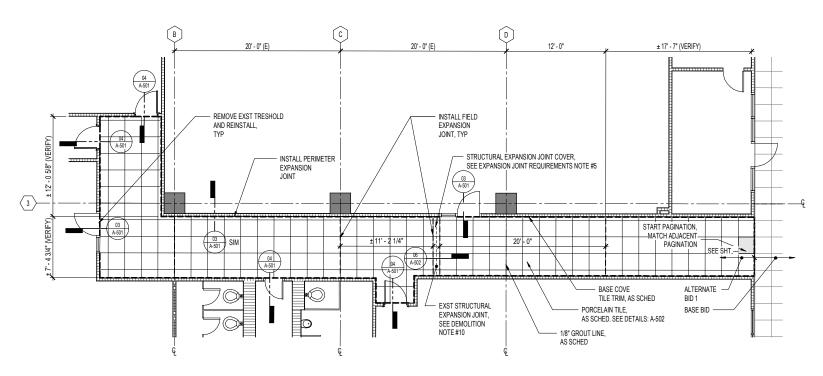
MAR 2024

SCALE: AS SHOWN

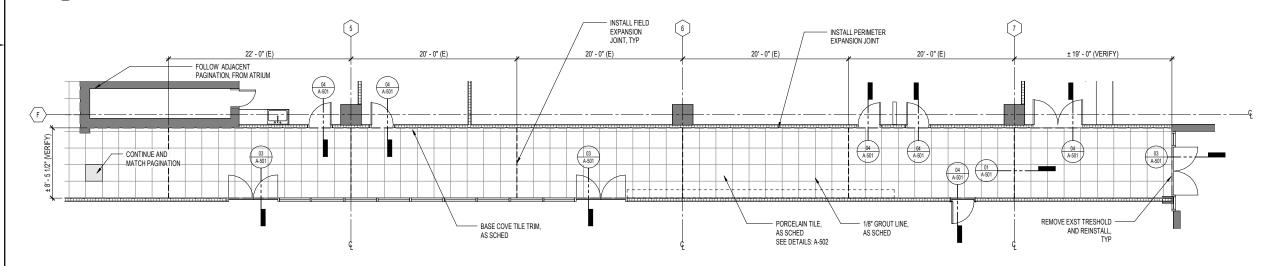








R ENLARGED FLOOR PLAN - 1ST FLOOR

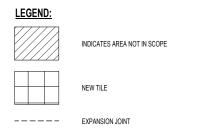


A BILARGED FLOOR PLAN - 1ST FLOOR

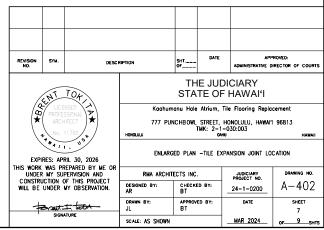
EXPANSION JOINT REQUIREMENTS:

- 1. ALL EXPANSION JOINTS (FIELD, PERIMETER, AND ISOLATION) MUST BE 1/4"
- WIDE MINIMUM, WITH DEPTH NO LESS THAN 1/4" NOR GREATER THAN 3/8".

 2. PERIMETER AND ISOLATION JOINTS ARE TO BE INSTALLED WHERE INDICATED, WHENEVER JOINT ABUTS WALLS, COLUMNS, DISSIMILAR FLOOR FINISHINGS, AND STRUCTURAL EXPANSION JOINTS.
- PERIMETER EXPANSION JOINTS MAY BE COVERED BY TILE TRIMS, MOLDINGS, THRESHOLD, AND STRUCTURAL EXPANSION JOINT COVER.
- ALL EXST STRUCTURAL JOINTS SHALL CONTINUE THROUGH TILE WORK, EXCEPT FROM SAW-CUT JOINTS.
- REPORT EXST STRUCTURAL JOINT THAT DOES NOT COINCIDE WITH NEW EXPANSION JOINT LOCATIONS. CONSIDERED STRUCTURAL JOINTS ARE: CONTROL, CONSTRUCTION, SAW-CUT, COLD, ISOLATION, AND SEISMIC JOINTS.
- SEE SPEC SEC 07920 FOR SEALANT INSTALLATION REQUIREMENTS.
 STRUCTURAL EXPANSION JOINT COVER TO BE SPECIFIED PER FIELD MEASUREMENTS BY CONTRACTOR, AND APPROVED BY OWNER. SEE DEMOLITION NOTE #10



SCALE: 3/16" = 1'-0"



FILE ______ DRAWER _____ FOLDER_____

	FINISH SCHED	ULE		
TYPE	ITEM	DESCRIPTION	SUPPLIER	NOTES
PŢ.1	PORCELAIN TILE	DALTILE DIGNITARY SIZE: 24" × 24" COLOR: NOTABLE BEIGE DR09 FINISH: MATTE GROUT COLOR: #183 OR #186		FLOOR FIELD TILE COVE BASE COVE BASE OUTCORNER BULLNOSE
PT-2	PORCELAIN TILE	DALTILE DIGNITARY SIZE: 24" x 24" COLOR: HERALD BROWN DR12 FINISH: MATTE GROUT COLOR: #185		FLOOR FIELD TILE (COLOR OPTION) COVE BASE COVE BASE OUTCORNER BULLNOSE
(PT-3)	PORCELAIN TILE	DALTILE MUSEO SIZE: 24" x 24" COLOR: NATURAL GREY MU32 FINISH: UNPOLISHED GROUT COLOR: #542		FLOOR FIELD TILE (ALTERNATE #3) COVE BASE COVE BASE OUTCORNER BULLNOSE
	FLOOR TRANSITION	SCHLUTER SYSTEMS RENO-T FINISH: ALUMINUM		SAME-HEIGHT HARD SURFACE TRANSITIONS
	FLOOR TRANSITION	SCHLUTER SYSTEMS RENO-TK FINISH: ALUMINUM		DIFFERENT HEIGHT (SLOPED) TRANSITIONS HARD SURFACE TO DISSIMILAR (CARPET) TRANSITIONS
	TILE INSTALL/	ATION SCHEDULE		
TYPE	ITEM	DESCRIPTION	SUPPLIER	NOTES
	MORTAR	CBP PROLITE MORTAR 30# BAG COLOR: TBD		15 YEAR WARRANTY THIN SET
	MORTAR	CBP MEGALITE 30# BAG COLOR: TBD		LIFETIME WARRANTY THIN SET (ALTERNATE #2)
	WATERPROOFING MEMBRANE	CBP REDGARD WATERPROOFING CRACK ISO 3.5 GAL		WATERPROOFING AND ANTI-FRACTURE MEMBRANE
	PRIMER	CBP CUSTOMTECH TECHPRIME A 1 GAL		PRIMER PRIOR TO SELF LEVELING
	LEVELER	CBP TECHLEVEL 150		SELF LEVELING

FINISH SCHEDULE AND COLOR SELECTIONS NOTES:

MOVEMENT JOINT SEALANT

- BRAND NAMES, COLORS, AND CODE NUMBERS ARE LISTED ONLY FOR REFERENCE AND NOT INTENDED TO LIMIT OTHER MANUFACTURERS. COLORS AND PRODUCTS OF OTHER MANUFACTURERS WITH COMPARABLE QUALITY, COLOR, AND TEXTIFE ARE ACCEPTABLE
- 2. PROVIDE FINISHES INDICATED THROUGHOUT THE ENTIRE SPACE UNLESS NOTED OTHERWISE.

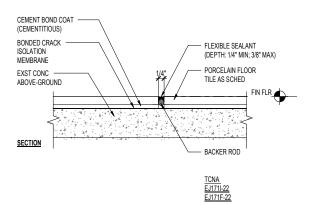
COLOR: TBD

COLOR: TBD

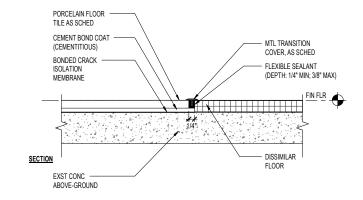
GROUT

INSTALLATION MATERIAL SELECTIONS NOTES:

- TILE INSTALLATION MATERIAL SHALL BE FROM A SINGLE SYSTEM AND CONFORM TO SELECTED WARRANTY PER SPEC 09313/1.07 B, EXCEPT FROM SEALANT USED FOR EXPANSION JOINT.
- BRAND NAMES, COLORS, AND CODE NUMBERS ARE LISTED ONLY FOR REFERENCE AND NOT INTENDED TO LIMIT OTHER MANUFACTURERS THAT ALSO MEET PROJECT WARRANTY REQUIREMENT.
- COLORS AND PRODUCTS OF OTHER MANUFACTURERS WITH COMPARABLE QUALITY, COLOR, AND TEXTURE ARE ACCEPTABLE.

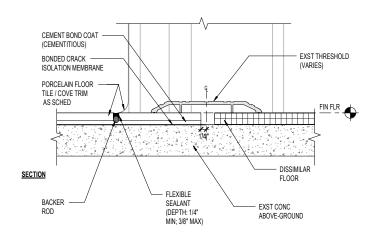


DETAIL EXPANSION FIELD JOINT 6"=1":0"

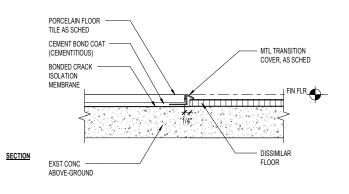


DETAIL
DISSIMILAR FLOOR TRANSITION

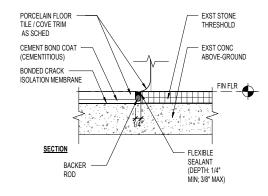
6"=1"-0"



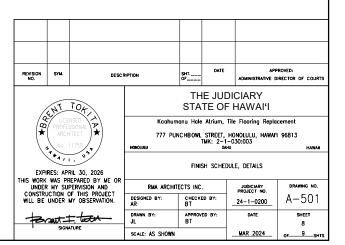
TRESHOLD TRANSITION & PERIMETER EXPANSION JOINT



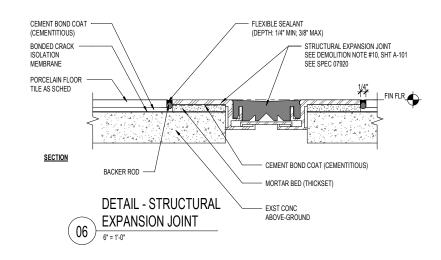
DETAIL Old DISSIMILAR FLOOR TRANSITION, DIFFERENT HT 6"=1".0"

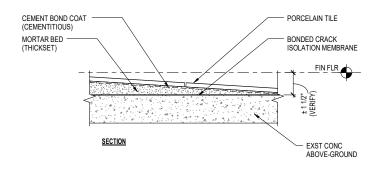


STONE TRESHOLD TRANSITION & PERIMETER EXPANSION JOINT

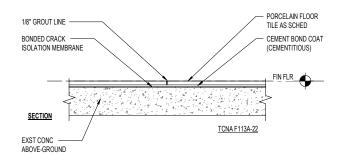






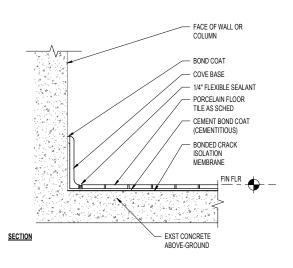


DETAIL PORCELAIN TILE FLOORING (SLOPE)
3"=1":0"

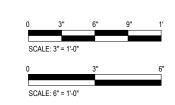


DETAIL PORCELAIN TILE FLOORING

3"= 1'-0"



09 DETAIL - WALL/ COLUMN



REVISION NO.	REVISION SYM. DESCR		RIPTION	SHT	DATE	APPROVED: ADMINISTRATIVE DIRECTOR OF COUR			
	(MI	TOA	THE JUDICIARY STATE OF HAWAI'I						
1 \	PROFE ARCH	SSIONAL HITECT	Kaahumanu Hole Atrium, Tile Flooring Replacement 777 PUNCHBOWL STREET, HONOLULU, HAWAI'I 96813 TMK: 2-1-030:003 HONOLULU HAWAIII 96813						
E		RIL 30, 2026 REPARED BY ME OR	DETAILS						
UNE	DER MY SU	PERVISION AND	RMA ARCHITECTS INC.			JUDICIARY PROJECT NO.	DRAWING NO.		
	CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.		DESIGNED BY: AR	CHECK!	ED BY:	24-1-0200	A-502		
<u> </u>	+ZYDAUX-	± tota	DRAWN BY: Author	APPROV BT	ED BY:	DATE	SHEET 9		
' SIGNATURE			SCALE: AS SHOWN			MAR 2024	or 9 shts		